

## EXHIBIT "I"

### THE USE STANDARDS FOR THE RESIDENTIAL PARCEL

A. Permitted Uses. The following are permitted uses within the Residential Parcel:

1. Libraries.
2. Single-family duplex dwellings.
3. Single-family detached units.
4. Private or public community centers including recreation and social facilities.

B. Lot and Bulk Restrictions.

1. Single Family Residential

Minimum Lot Size:	8,100 Square Feet
Minimum Lot Width:	65 Feet
Minimum Front Yard:	25 Feet
Minimum Corner Side Yard:	25 Feet
Minimum Rear Yard:	30 Feet
Minimum Interior Side Yard:	8 Feet
Minimum Floor Area Per Dwelling:	1,200 Square Feet

2. Single Family Attached (Duplex) Residential

Minimum Lot Size:	6,825 Square Feet
Minimum Lot Width:	65 Feet
Minimum Front Yard:	25 Feet
Minimum Corner Side Yard:	20 Feet
Minimum Rear Yard:	30 Feet
Minimum Interior Side Yard:	5 Feet
Minimum Floor Area Per Dwelling:	924 Square Feet

3. Lot width shall be as follows:

- a) Not less than sixty-five feet (65') for single-family detached dwellings.
- b) Not less than sixty-five feet (65') for two-family detached, single-family semi-detached and attached dwellings, and multiple-family dwellings.

0.5. 4. Floor area ratio for nonresidential permitted uses and special uses shall not exceed

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a) Building height for dwelling uses shall be not more than thirty-five feet (35')

5. Yards for nonresidential permitted uses shall be as shown on the Preliminary Development Plan for the Residential Parcel. Chimneys and Bay Windows may encroach into any side yard, if such encroachment does not exceed 2 feet. Eaves may encroach into any side yard, if such encroachment does not exceed 1 foot.

6. Off-street parking shall be provided in accordance with provisions set forth in Article XI of the Village Zoning Regulations. Duplex dwellings shall not be required to have a two-car garage.

7. All mailboxes and posts installed on the Residential Parcel shall be in compliance with the mailbox design standards attached to this Exhibit.

8. All street signs and poles erected on the Residential Parcel shall be in compliance with the street sign design standards attached to this Exhibit.

9. All traffic sign posts on the Residential Parcel shall be installed in compliance with the traffic sign post design standards attached to this Exhibit.

10. All fences located on the Residential Parcel shall be constructed of the materials and design set forth on the attached fence standards attached to this Exhibit "I." Fences on the perimeter of the Residential Parcel shall not exceed 6 feet in height and all other fences shall not exceed 4 feet in height.

11. Chimneys and bay windows may encroach in up to 2 feet into any side yard.

**ATTACHMENT TO EXHIBIT "I"**  
**MAILBOX DESIGN STANDARDS (1 of 2)**



**STANFORD**

- 3" Fluted Extruded Aluminum Post, D.90  
Wall 0063-70
- Cast Aluminum Support Arm, 319 Alloy  
(Chromated) Welded to Post
- Cast Aluminum Ball Cap
- Gloss Black Powder Coat Finish
- Black 71 Mailbox
- 3" Gold Vinyl Address Numbers
- Installed with Cement

MANUFACTURER:  
 MALDON SERVICE, INC.  
 10215 WOLF DRIVE  
 HUNTLEY, IL 60142  
 (847)886-2752

**VILLAGE OF  
 HAMPSHIRE**

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<b>SINGLE FAMILY MAILBOX</b>				<small>SHEET 1 OF 1</small>	
<b>ENGINEERING ENTERPRISES, INC.</b> 52 Wheeler Road, Sugar Grove, IL 60554 830/466-9350 phone - 830/466-9380 fax	<small>SCALE:</small> <b>N.T.S.</b>	<small>DRAWING NUMBER</small> <b>HA004</b>	<small>DRAWN BY:</small> <b>KKP</b>		
	<small>DATE:</small> <b>5/18/04</b>	<small>REVISED:</small>			

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## MAILBOX DESIGN STANDARDS (2 of 2)



### YALE DOUBLE

- 4" x 4" x 128" 6063-T52 Extruded Aluminum Post
- Heavy Cast Aluminum Support Arm, 319 Alloy (chromated)
- Heavy Cast Aluminum Cap, 319 Alloy
- Gloss Black Powder Coat Finish
- Black 71 Mailboxes (two)
- 1 1/8" Gold Vinyl Address Numbers
- Installed with Cement

MANUFACTURER:  
MAILBOX SERVICE, INC.  
10763 WOLF DRIVE  
HUNTLEY, IL 60142  
(847)880-2752

VILLAGE OF  
HAMPSHIRE

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### DUPLEX MAILBOX

SHEET 1 OF 1

ENGINEERING ENTERPRISES, INC.  
52 Wheeler Road, Sugar Grove, IL 60554  
630/466-9350 phone - 630/466-9350 fax

SCALE:  
N.T.S.

DRAWING  
NUMBER

DRAWN BY:  
KKP

DATE:  
5/18/04

HA005

REVIEWED:

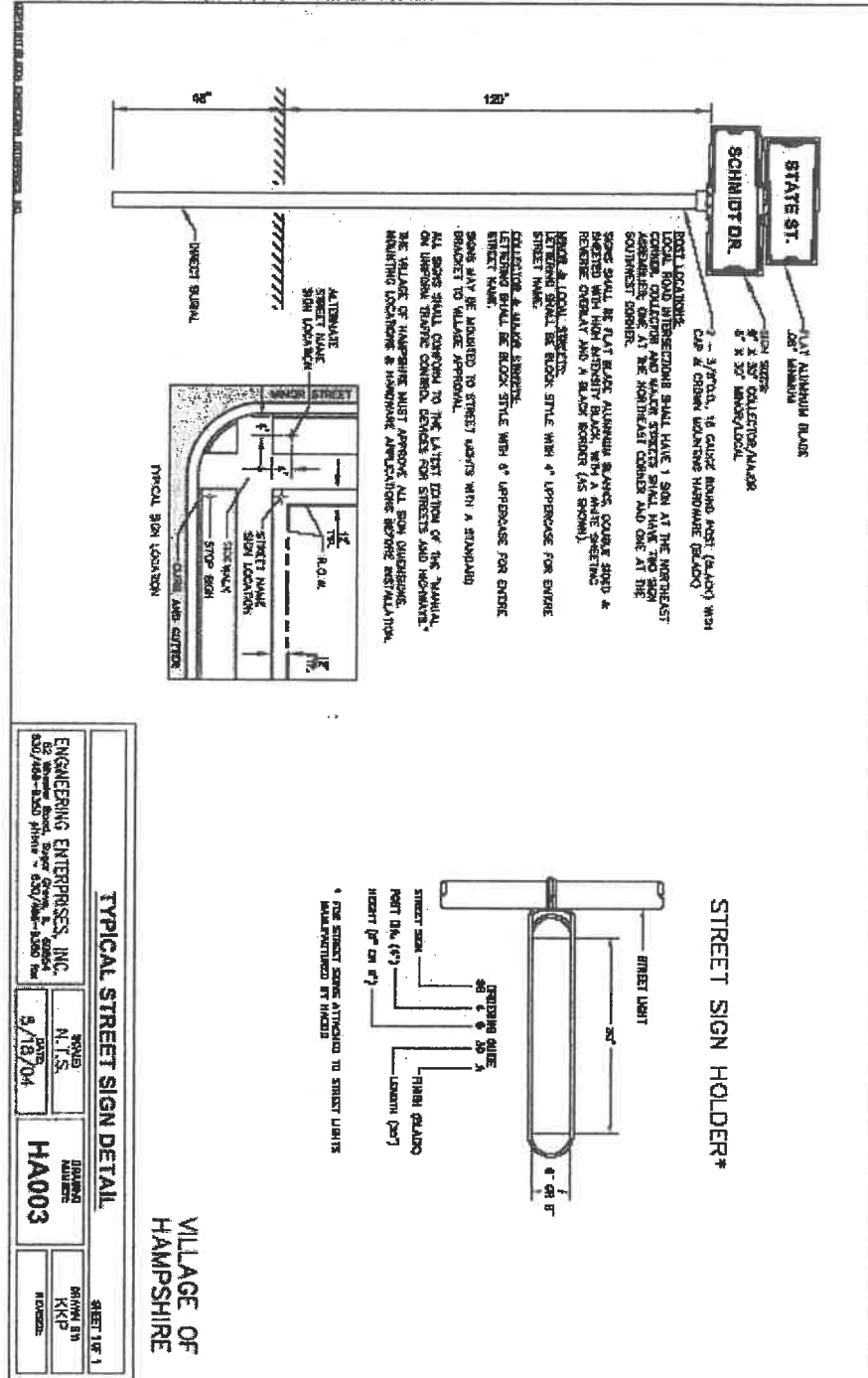
1/66

# ATTACHMENT TO EXHIBIT "I"

## STREET SIGN DESIGN

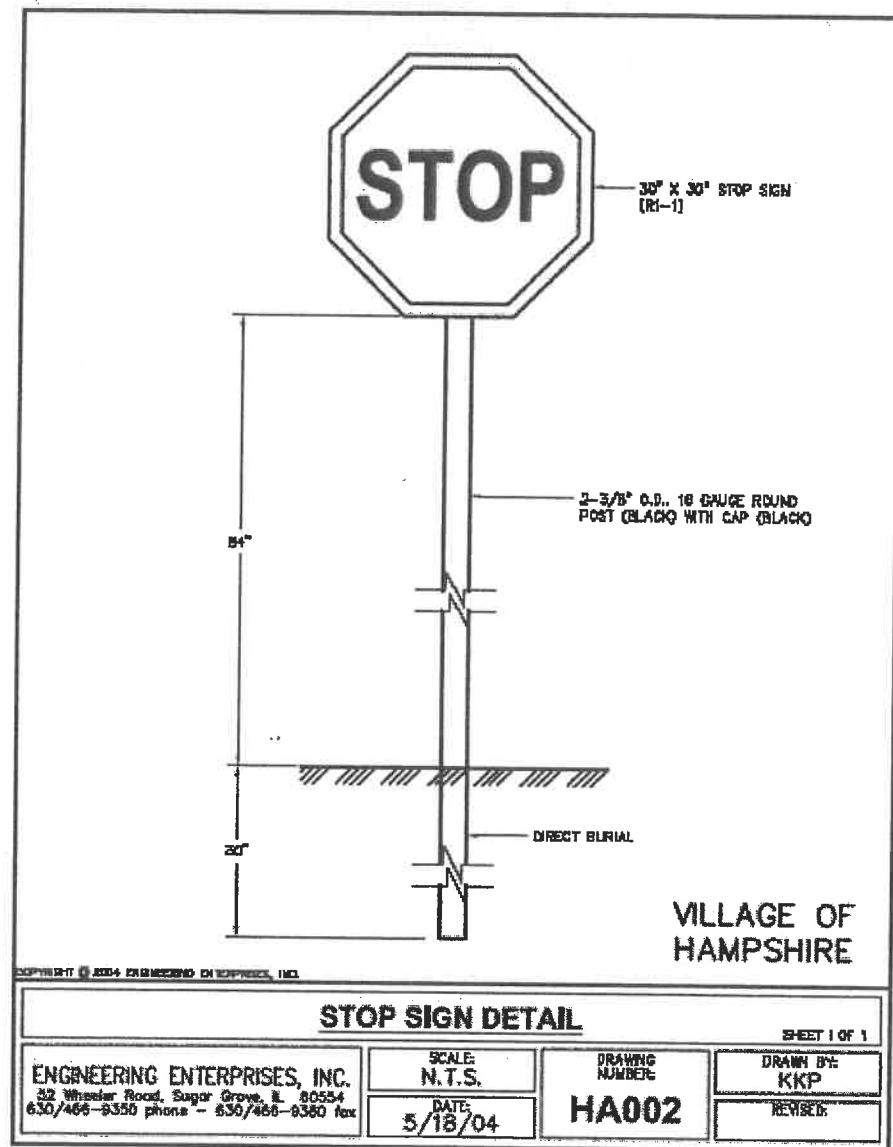
### STANDARD

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167

**ATTACHMENT TO EXHIBIT "I"**  
**TRAFFIC SIGN POST DESIGN STANDARDS**



168

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169

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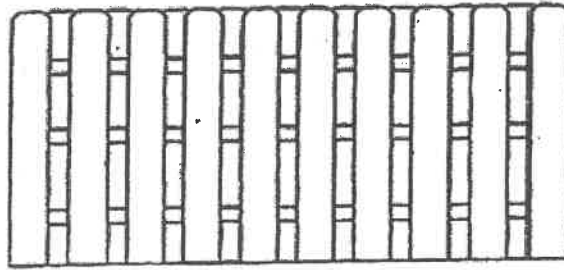
170



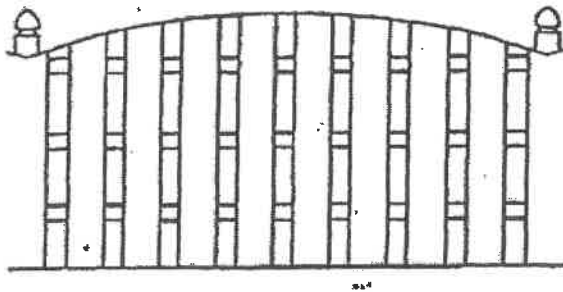
ATTACHMENT TO EXHIBIT "I"

FENCE STANDARDS

**4-FOOT BOARD ON BOARD  
FENCE**

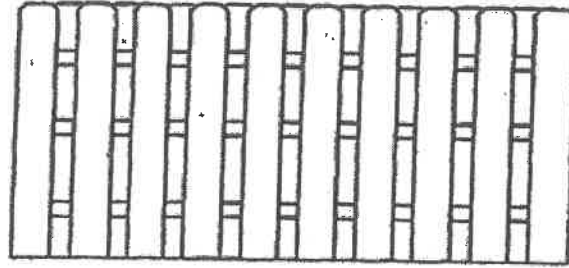


**BOARD ON BOARD DOG EAR**

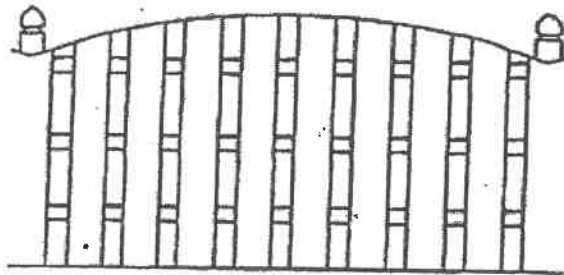


**BOARD ON BOARD ARCHED**

# 6-FOOT BOARD ON BOARD FENCE



BOARD ON BOARD DOG EAR



BOARD ON BOARD ARCHED

**PERIMETER ONLY**